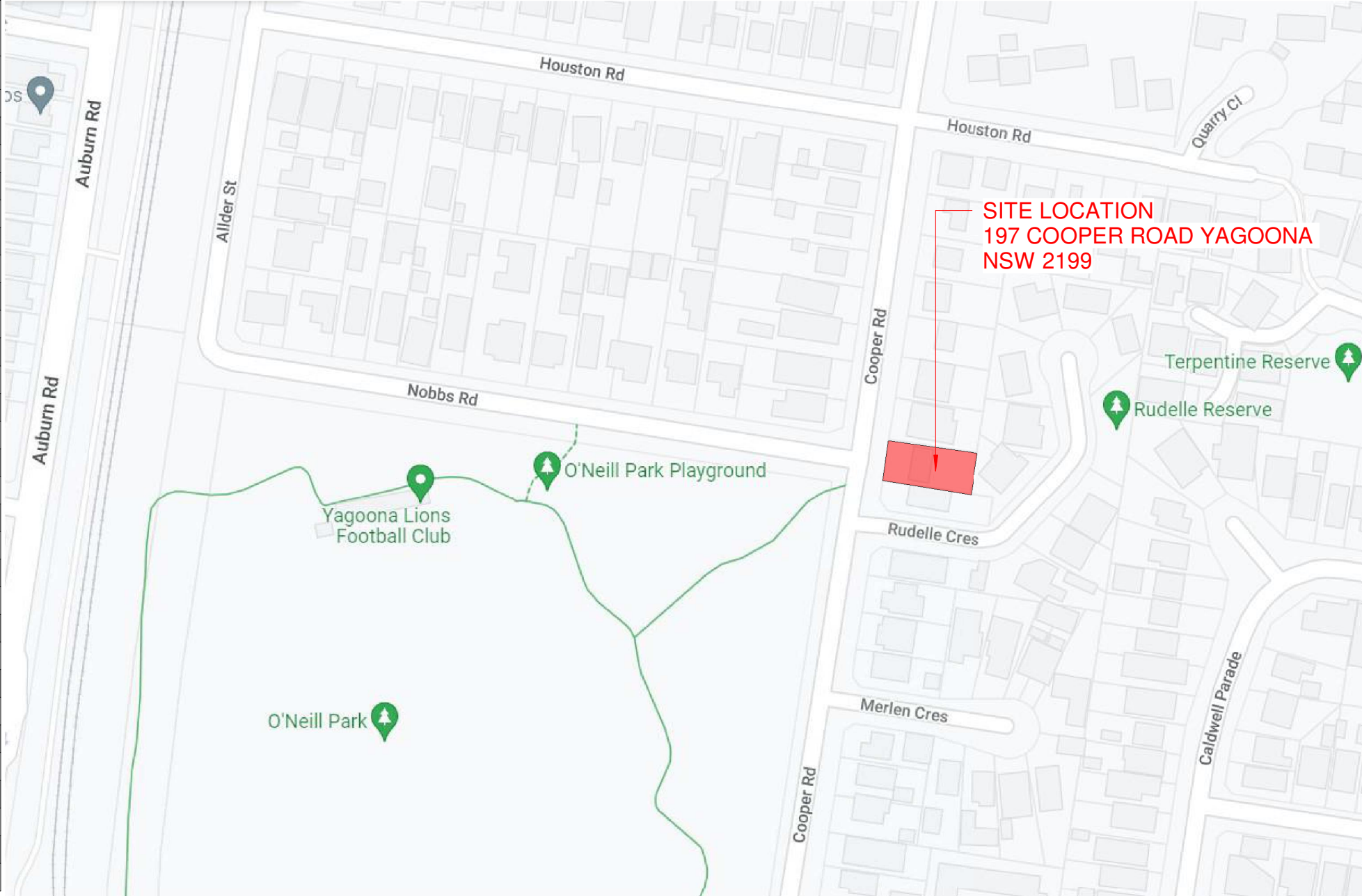


DEVELOPMENT APPLICATION DOCUMENTATION

LOT 8 DP 35104

197 COOPER ROAD YAGOONA NSW 2199

DRAWING LIST			
DWG NO.	DWG NAME	REVISION	DATE
A01	LOCATION PLAN	A	24/01/2023
A02	EXISTING & DEMOLITION PLAN	A	24/01/2023
A03	SITE PLAN	A	24/01/2023
A04	SITE ANALYSIS PLAN	A	24/01/2023
A05	BASEMENT PLAN	A	24/01/2023
A06	GROUND FLOOR PLAN	A	24/01/2023
A07	RETAINING WALL AND SIDE FENCE ELEVATIONS	A	24/01/2023
A08	FIRST FLOOR PLAN	A	24/01/2023
A09	ROOF PLAN	A	24/01/2023
A10	AREA PLANS	A	24/01/2023
A11	NORTH ELEVATION	A	24/01/2023
A12	SOUTH ELEVATION	A	24/01/2023
A14	WEST ELEVATION	A	24/01/2023
A15	SECTION A	A	24/01/2023
A16	SECTION B	A	24/01/2023
A17	SECTION C	A	24/01/2023
A18	SHADOW DIAGRAMS	A	24/01/2023
A19	LANDSCAPE PLAN	A	24/01/2023
A20	EXTERIOR FINISHES	A	24/01/2023
A21	NOTIFICATION PLAN	A	24/01/2023
A22	BASIX COMMITMENTS	A	24/01/2023
A24	BASIX COMMITMENTS	A	24/01/2023
A25	3D BASEMENT	A	24/01/2023
A26	3D GROUND FLOOR	A	24/01/2023
A27	3D FIRST FLOOR	A	24/01/2023
A28	3D OVERALL	A	24/01/2023
A29	3D FACADE PERSPECTIVE VIEW	A	24/01/2023
A30	3D FACADE PERSPECTIVE VIEW	A	24/01/2023
A31	PROPOSED STREETSCAPE ELEVATION	A	24/01/2023



LOCATION PLAN NTS (SOURCE GOOGLE MAPS)

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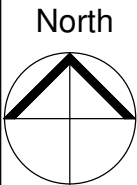
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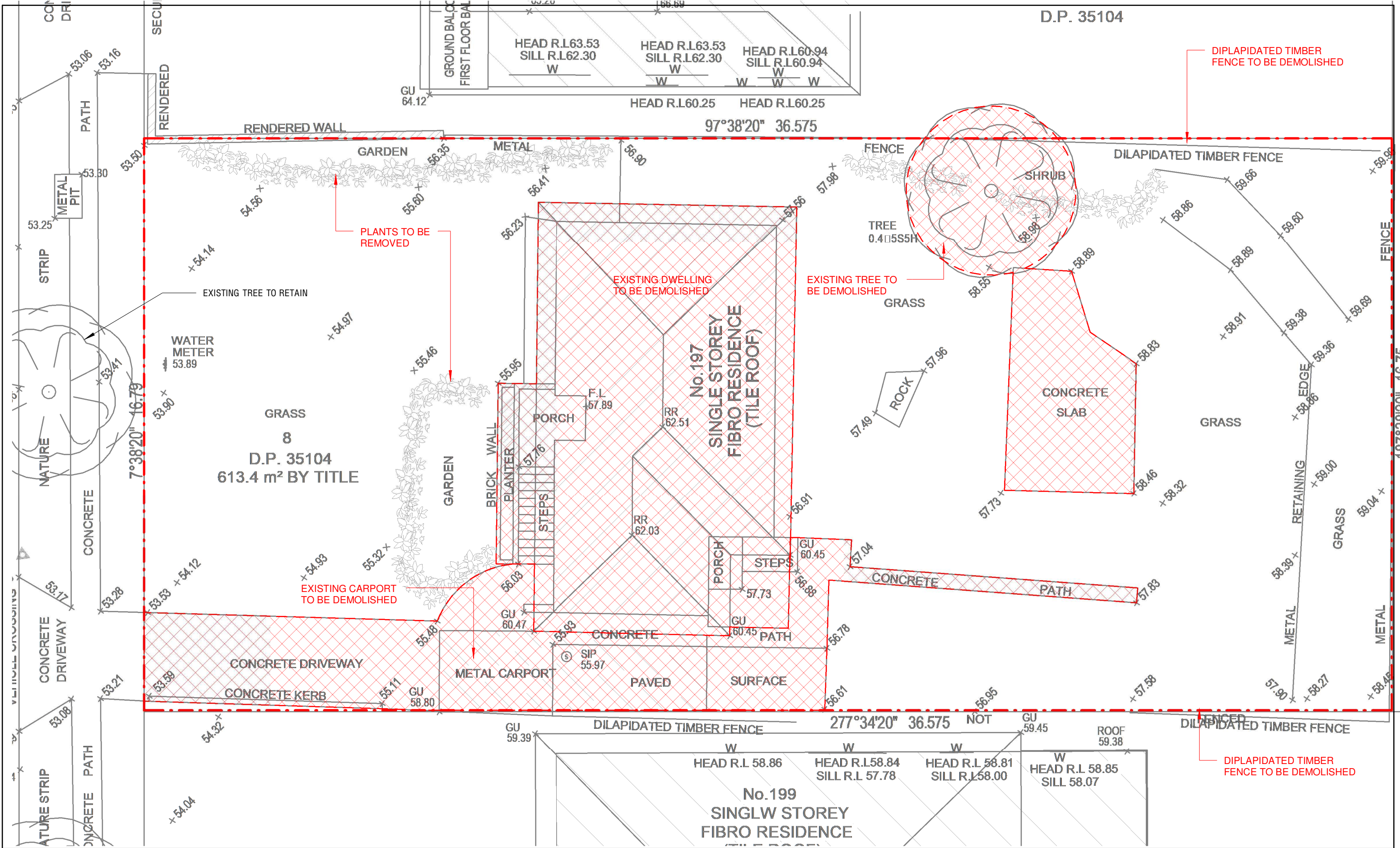
No.	Description	Date
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LOCATION PLAN

Project number	2022-197C00	A01
Date	24/01/2023	
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Checked by	HL	Scale 1 : 100



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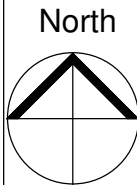
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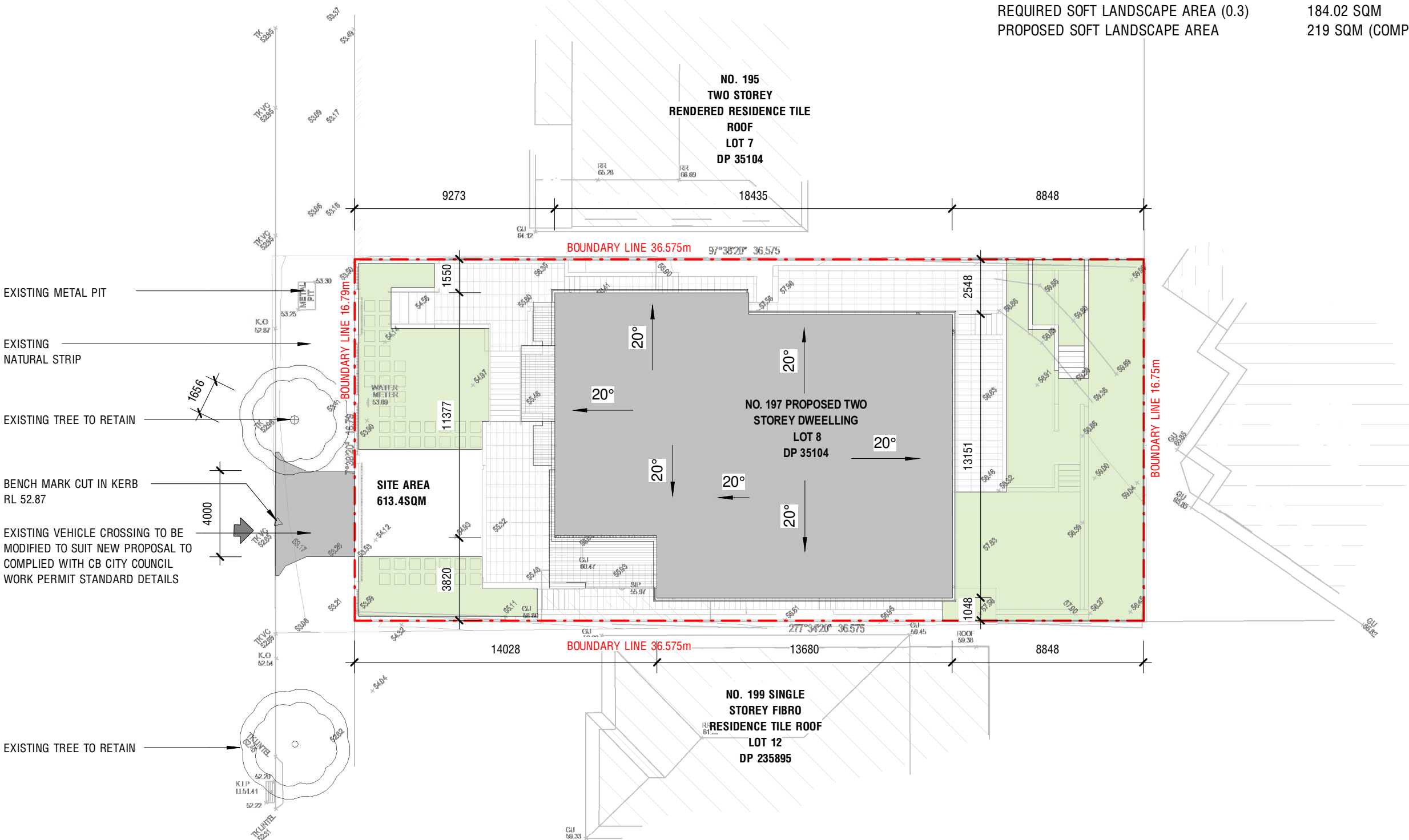
EXISTING & DEMOLITION PLAN

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Date	24/01/2023	
Drawn by	HL	
Checked by	HL	
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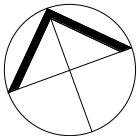
SITE CALCULATIONS

EXISTING SITE AREA:	613.4 SQM
MAX. FLOOR AREA	306.7 SQM
PROPOSED FLOOR AREA	303.7 SQM (COMPLIED)
REQUIRED SOFT LANDSCAPE AREA (0.3)	184.02 SQM
PROPOSED SOFT LANDSCAPE AREA	219 SQM (COMPLIES)

COOPER ROAD



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SITE PLAN

Project number	2022-197C00	A03
Date	24/01/2023	
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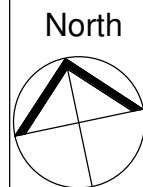
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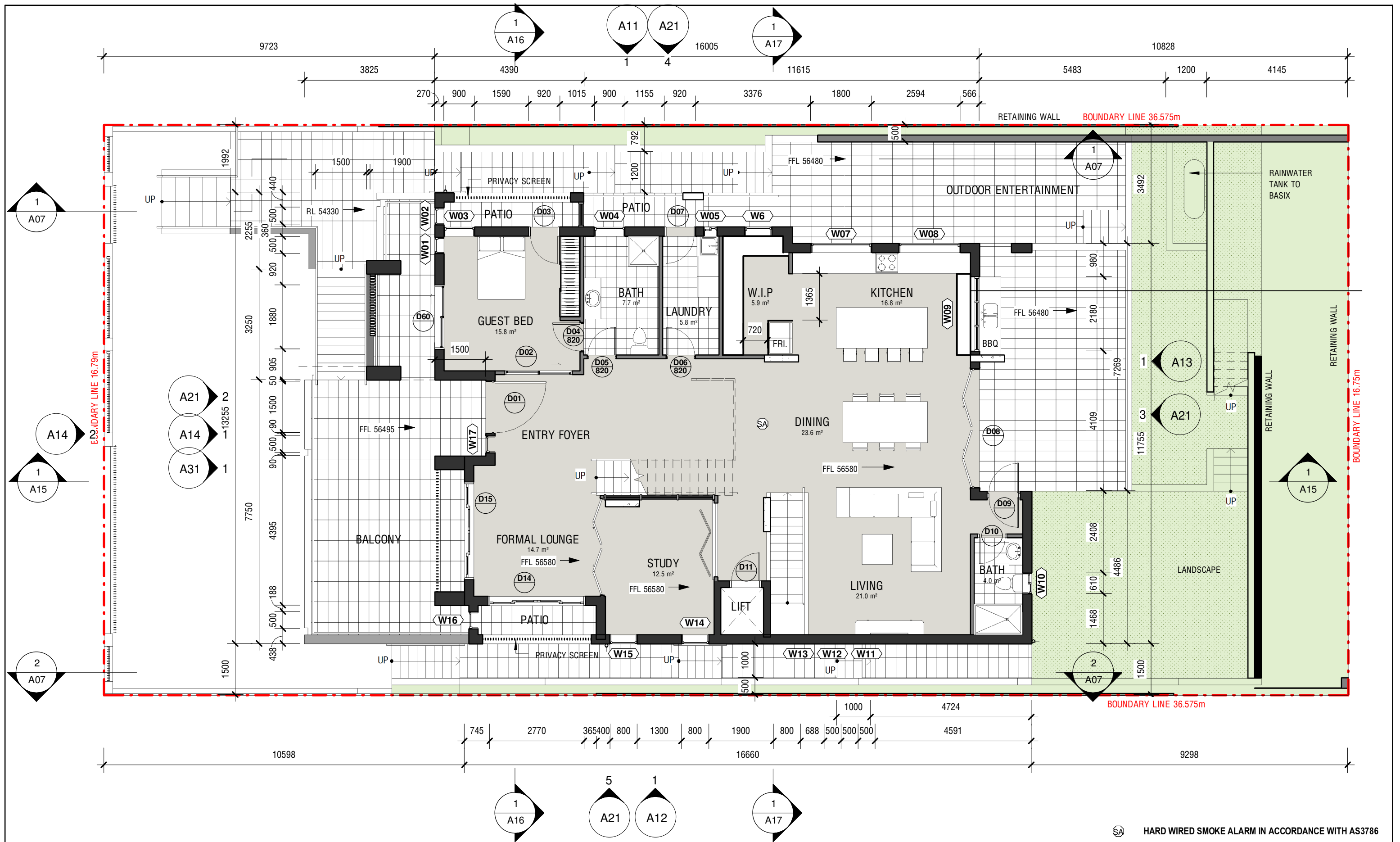


No.	Description	Date
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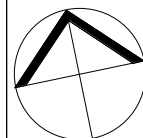
BASEMENT PLAN

Project number	2022-197C00	A05
Date	24/01/2023	
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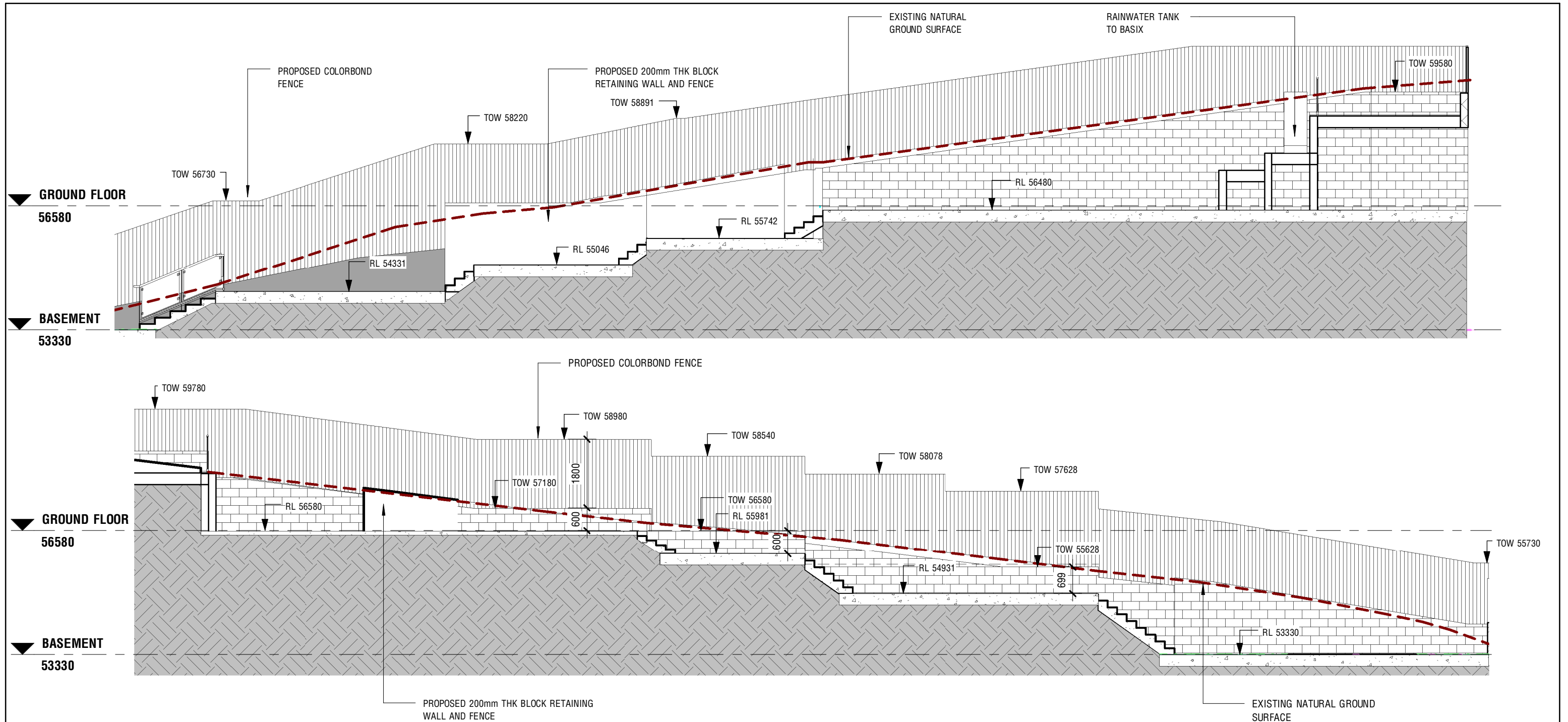
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A	ISSUED FOR DEVELOPMENT APPLICATION	24/01/2023

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GROUND FLOOR PLAN

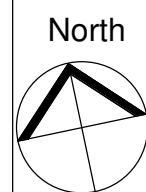
Project number	2022-197C00	A06
Date	24/01/2023	
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Checked by	HL	
Scale		1 : 100



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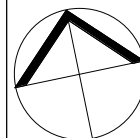
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RETAINING WALL AND SIDE FENCE ELEVATIONS			
Project number	2022-197C00	A07	
Date	24/01/2023		
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Checked by	HL	Scale	1 : 100



SA HARD WIRED SMOKE ALARM IN ACCORDANCE WITH AS3786

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FIRST FLOOR PLAN

Project number	2022-197C00	A08
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	
Scale		1 : 100

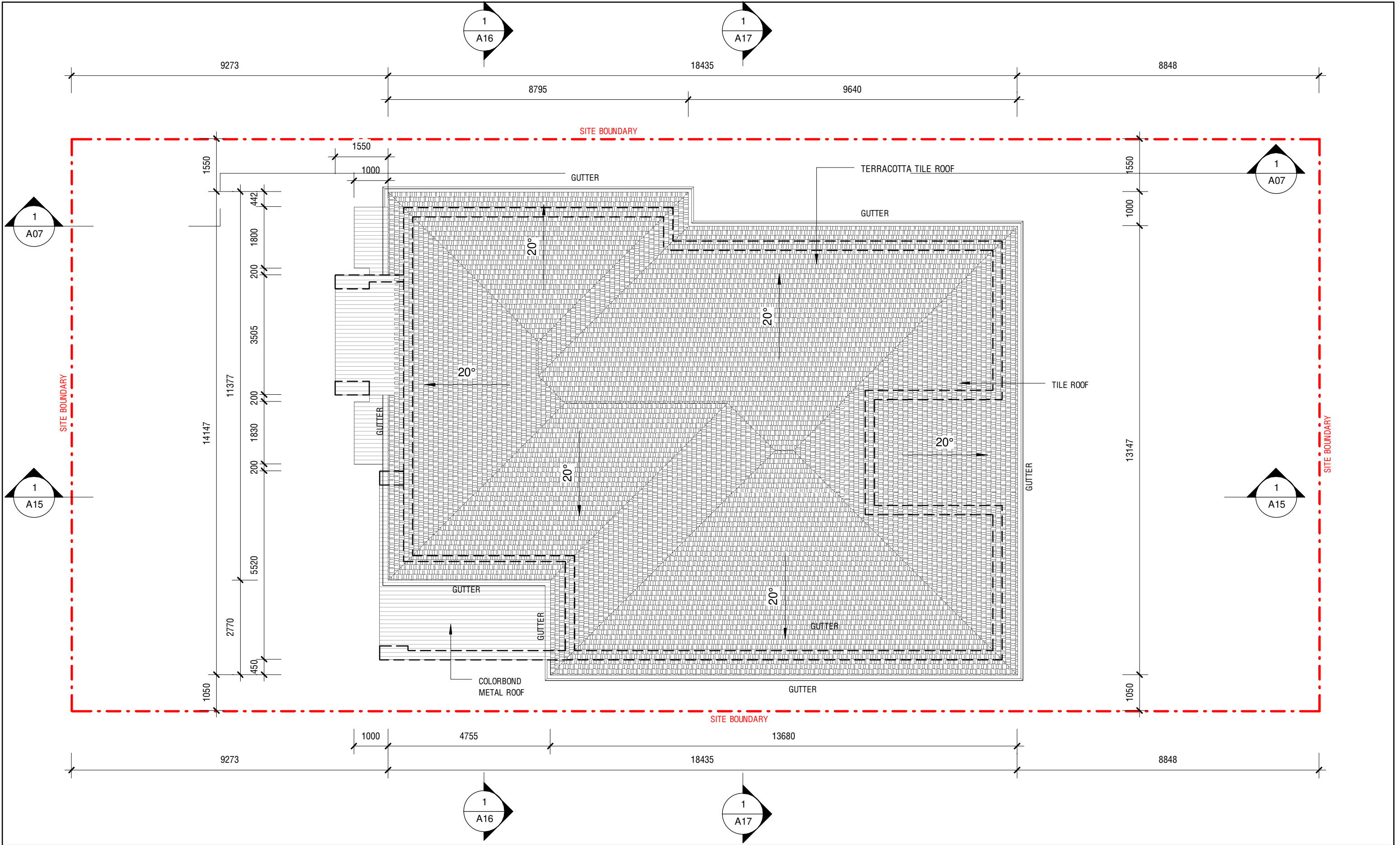
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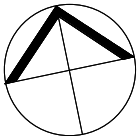
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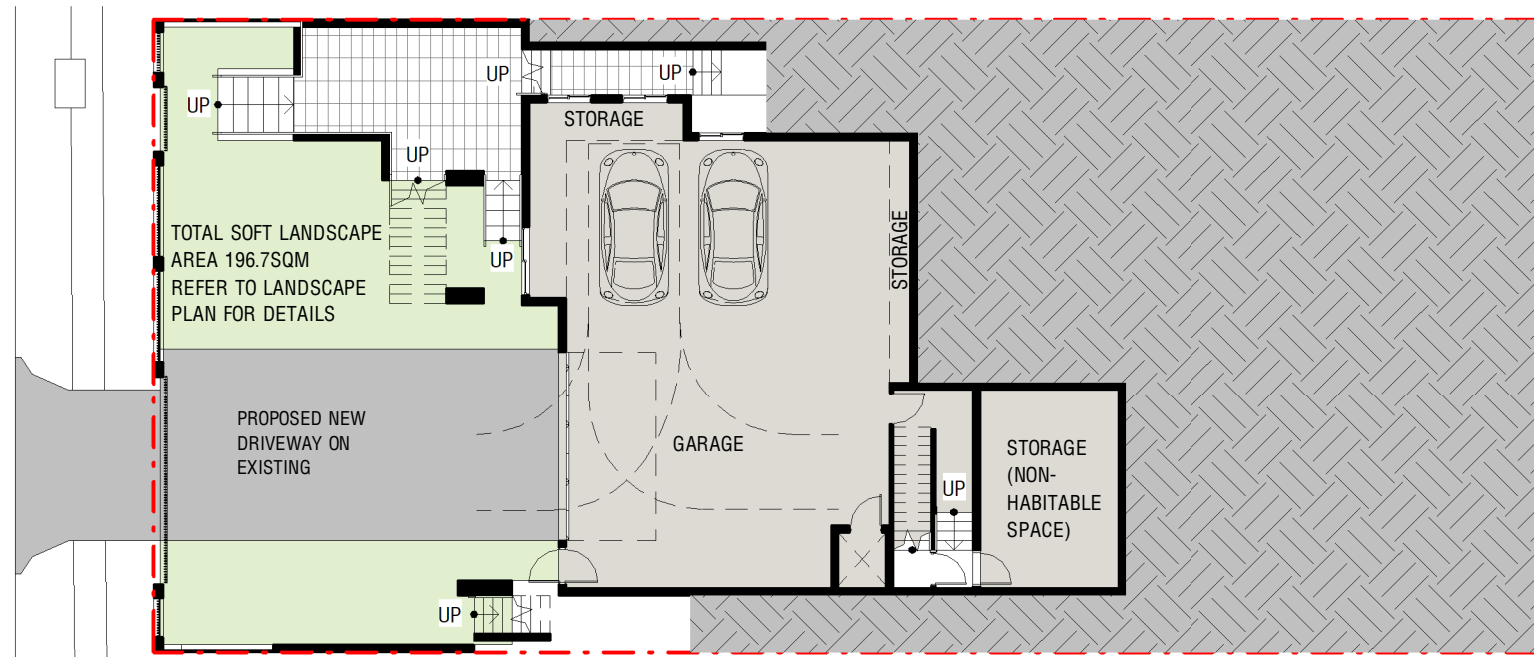
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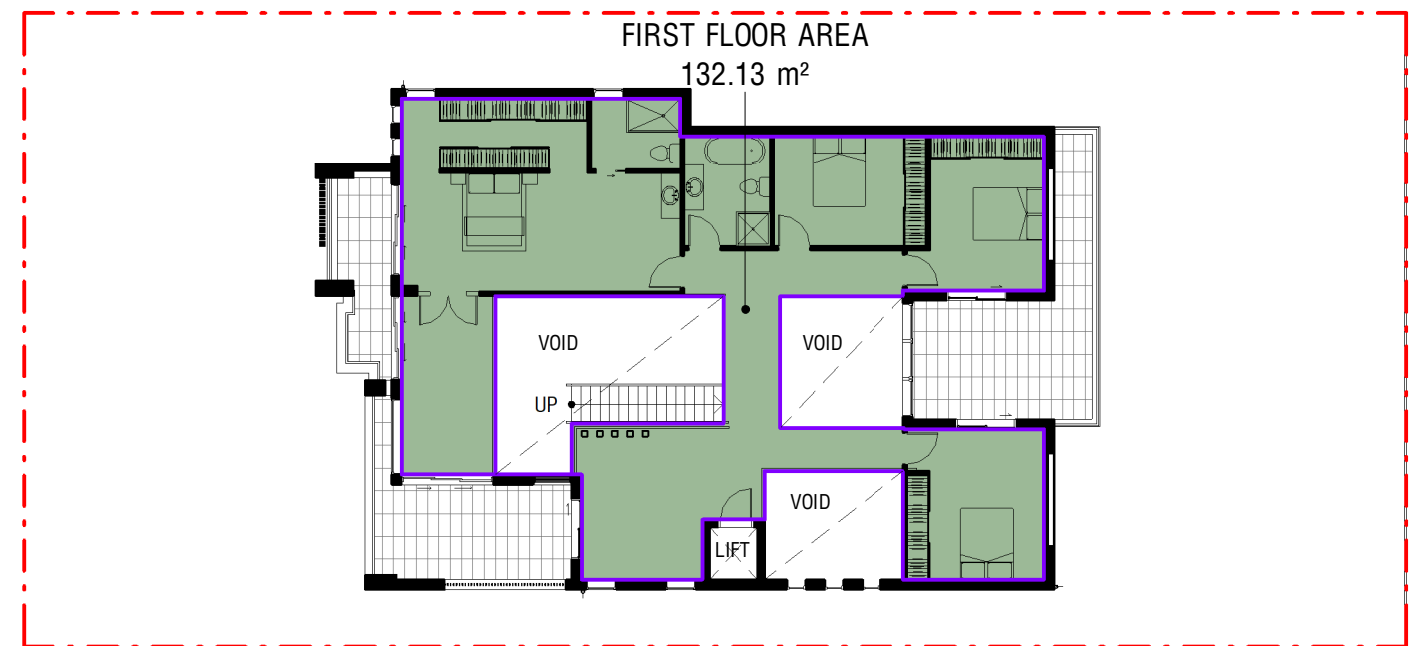
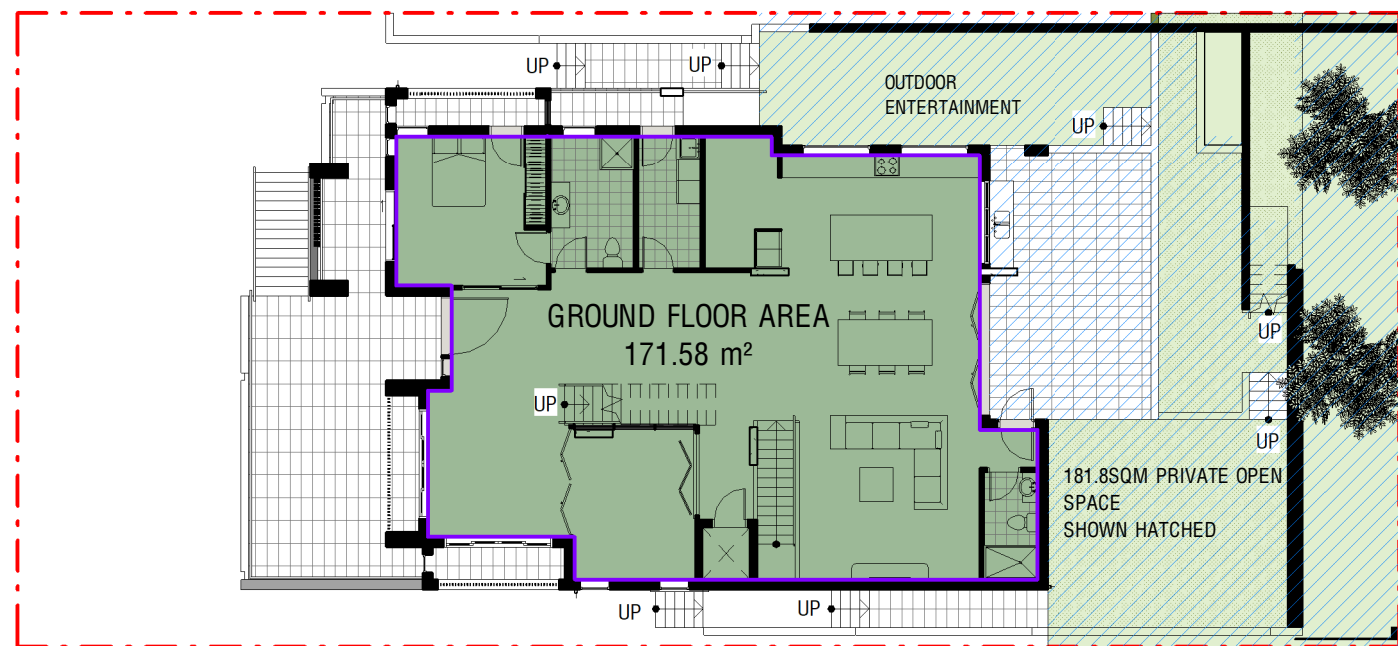
ROOF PLAN

Project number	2022-197C00	A09
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	Scale
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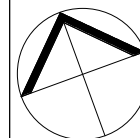


SITE CALCULATIONS

EXISTING SITE AREA:	613.4 SQM
MAX. FLOOR AREA	306.7 SQM
PROPOSED FLOOR AREA	303.7 SQM (COMPLIED)
REQUIRED SOFT LANDSCAPE AREA (0.3)	184.02 SQM
PROPOSED SOFT LANDSCAPE AREA	219 SQM (COMPLIES)



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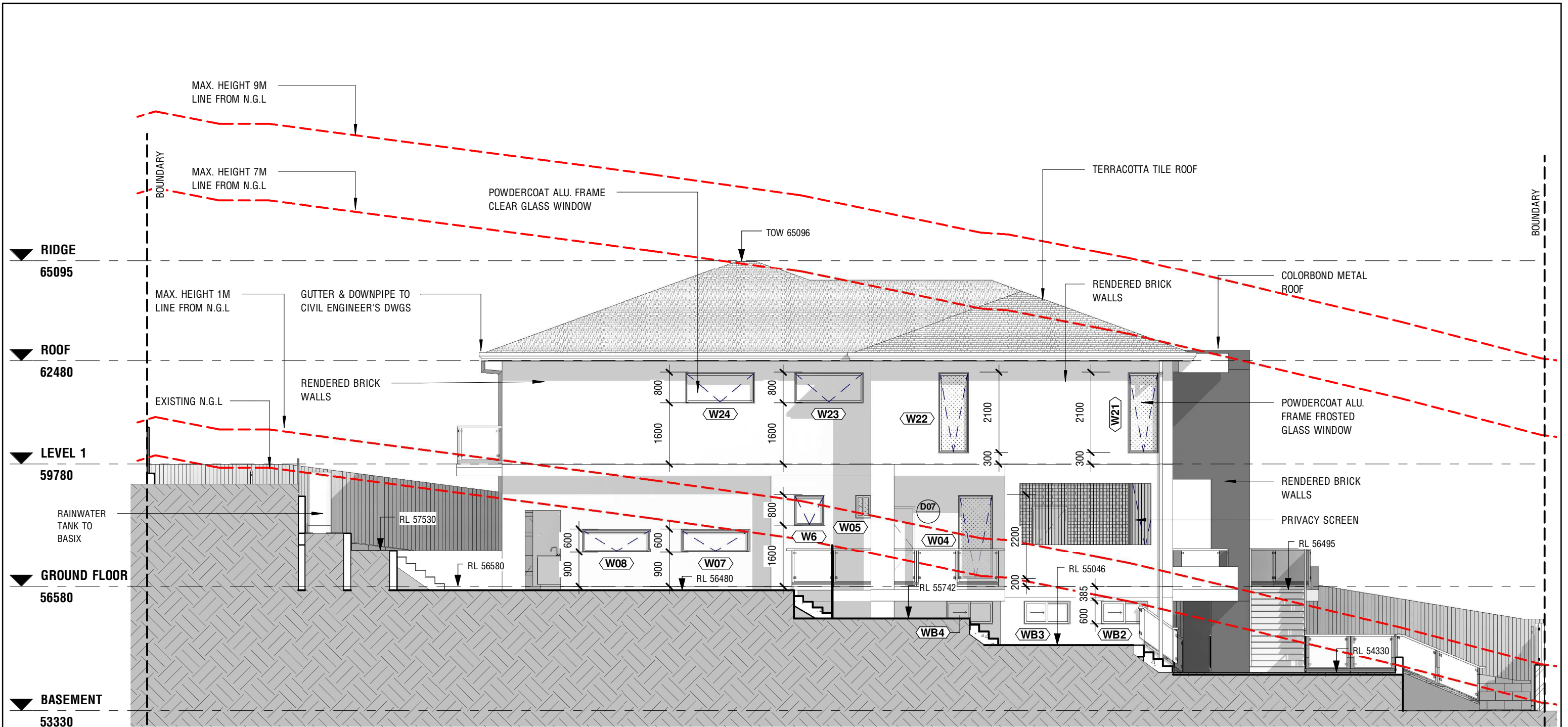
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AREA PLANS

Project number	2022-197C00	A10
Date	24/01/2023	
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Checked by	HL	Scale
		1 : 200



1 NORTH ELEVATION
1:100

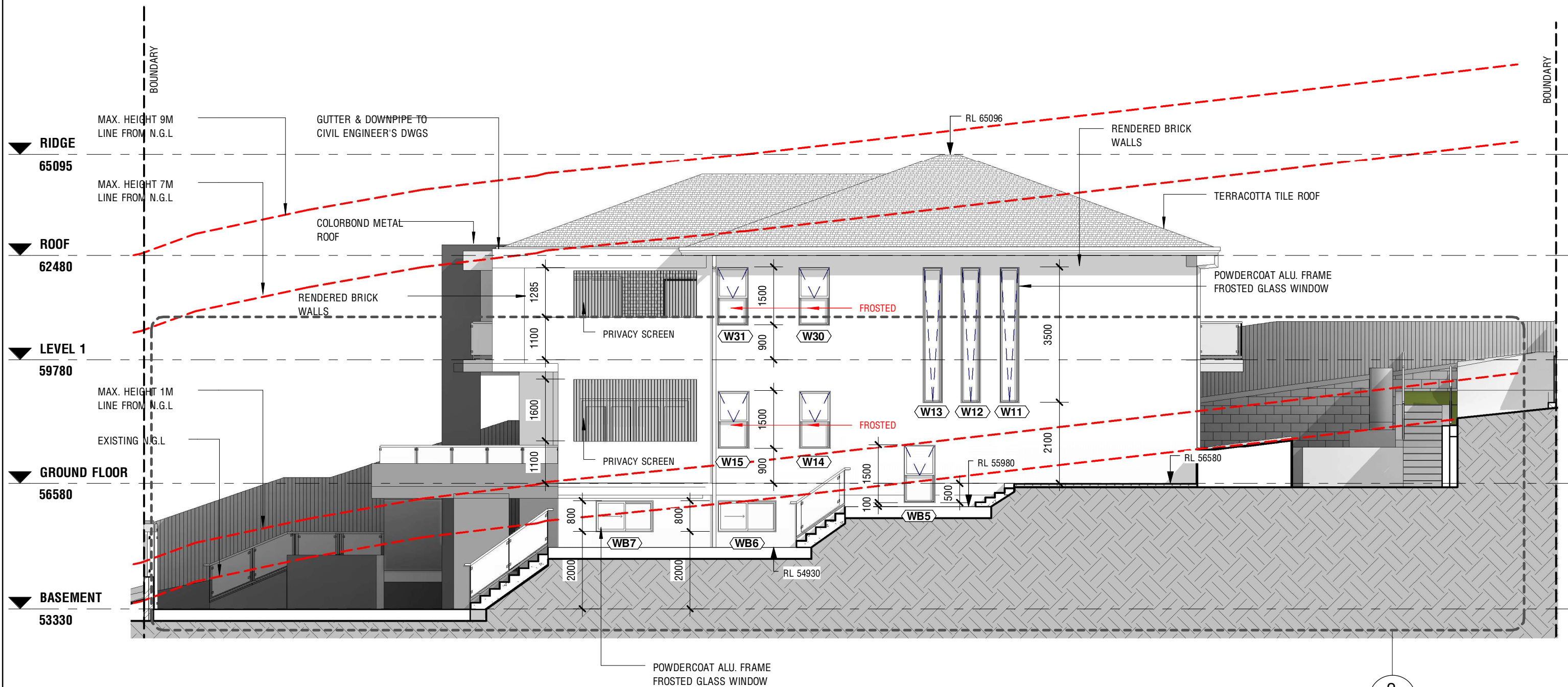
No.	Description	Date
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NORTH ELEVATION

Project number	2022-197C00	A11
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	
Scale		1:100



1 SOUTH ELEVATION
1 : 100

2
A07

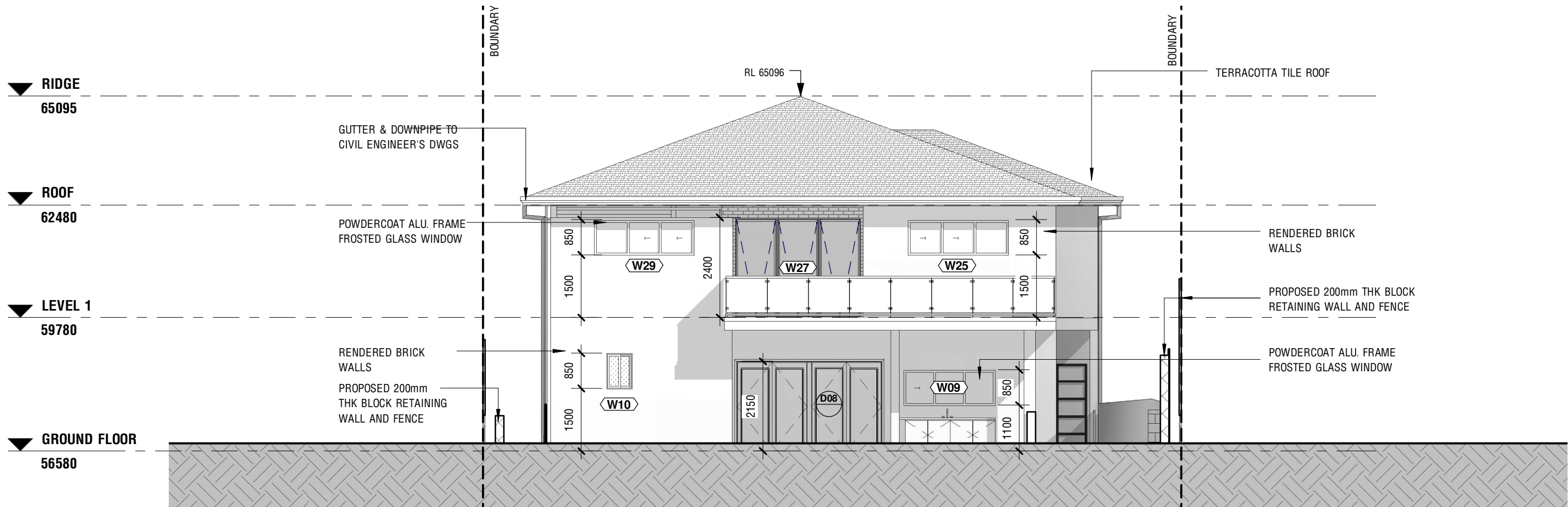
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SOUTH ELEVATION			
Project number	2022-197C00	A12	
Date	24/01/2023		
Drawn by	HL		
Checked by	HL	Scale	1 : 100



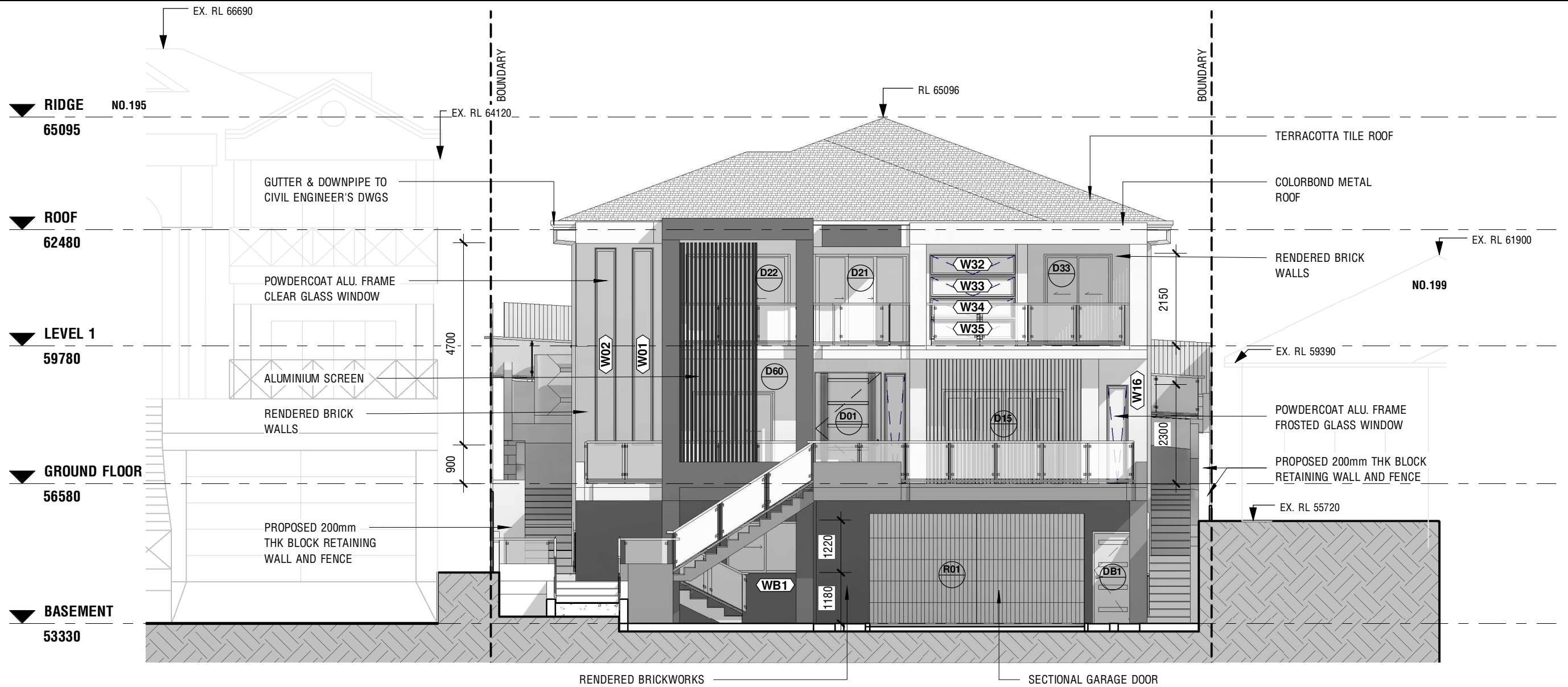
1 EAST ELEVATION
1 : 100

No.	Description	Date
A	ISSUED FOR DEVELOPMENT APPLICATION	24/01/2023

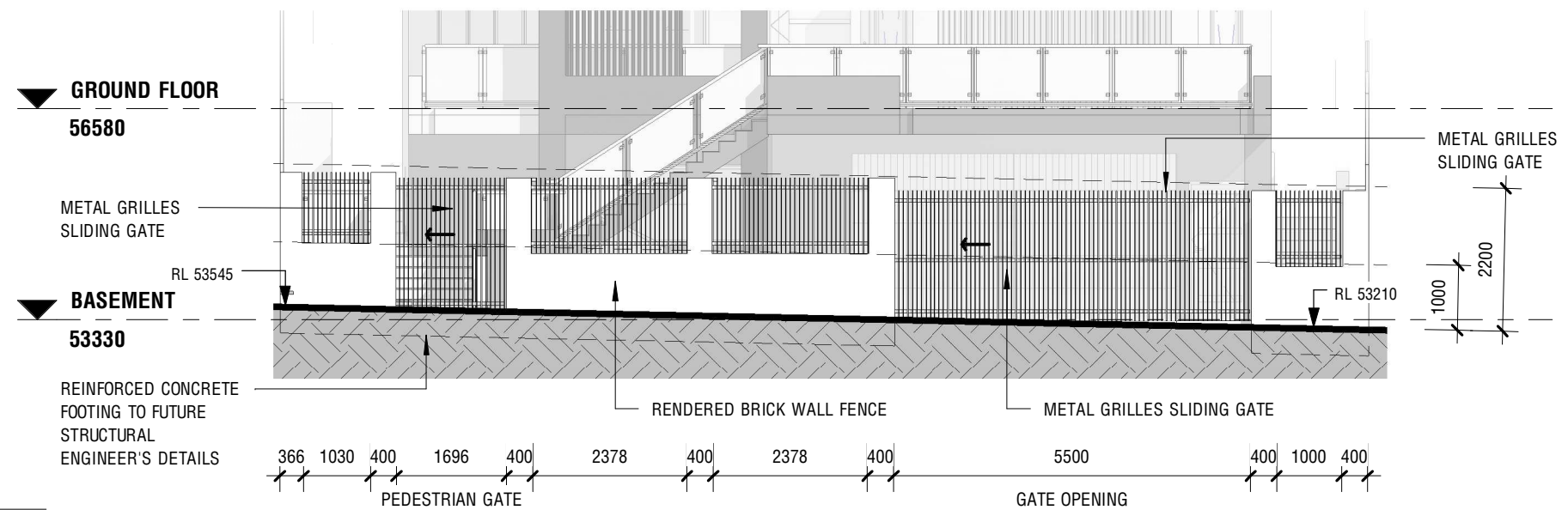
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EAST ELEVATION

Project number	2022-197C00	A13
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1 WEST ELEVATION
1 : 100



2 FRONT BOUNDARY FENCE
1 : 100

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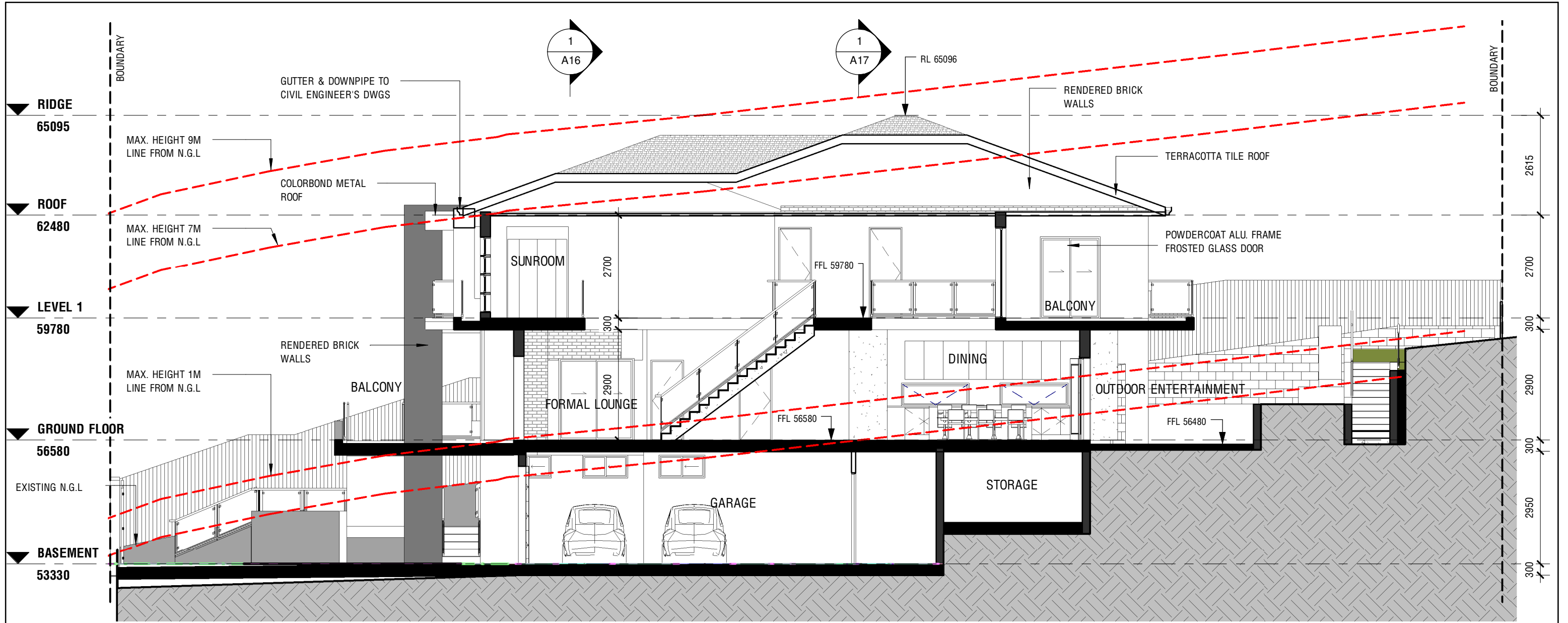
No.	Description	Date
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WEST ELEVATION

Project number	2022-197C00	A14
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	Scale
		1 : 100



1 SECTION A
1:100

NOTE: BALUSTRADES TO BE MINIMUM 1000MM HIGH
FROM FFL AND MUST NOT INCORPORATE ANY GAPS GREATER THAN 125MM WIDE

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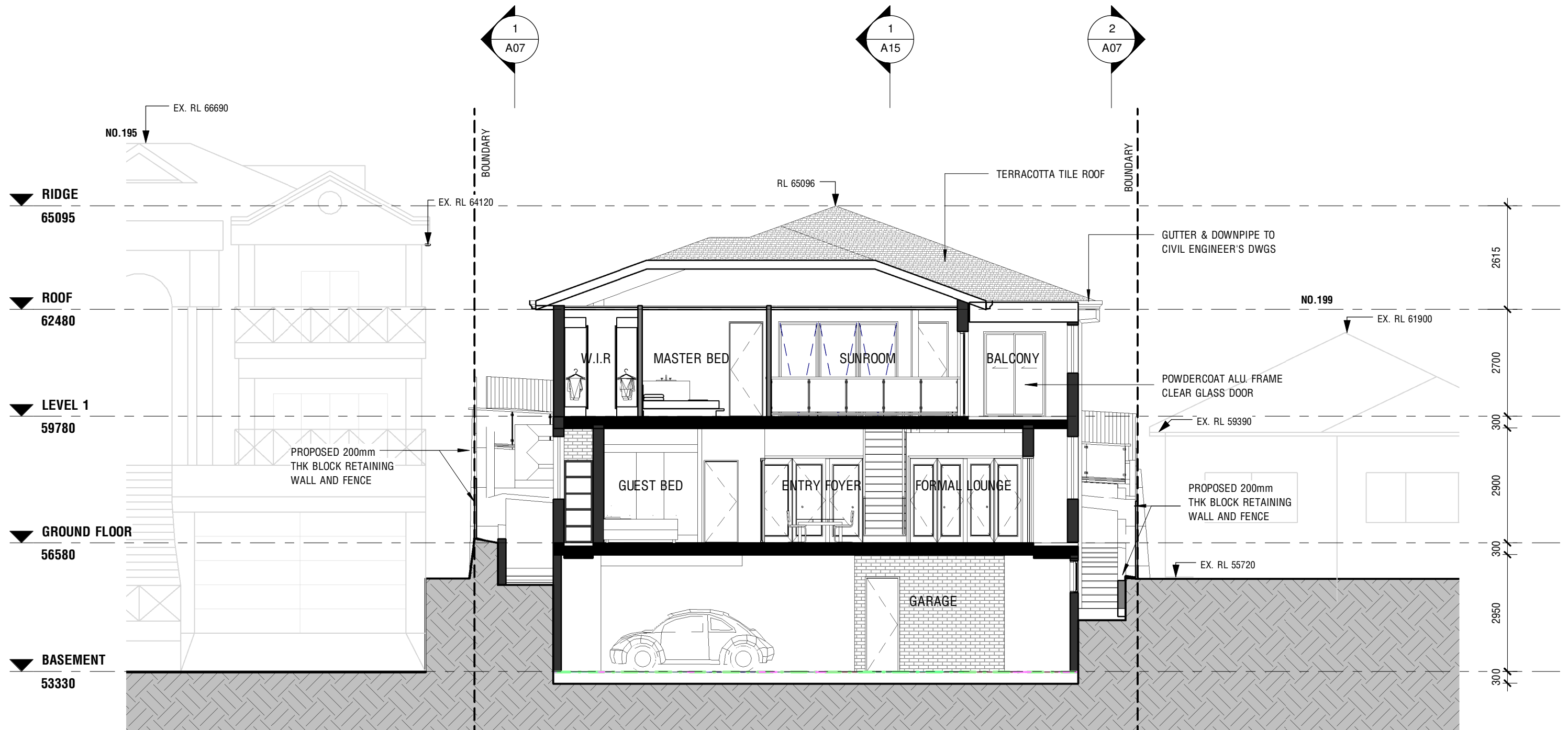
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SECTION A

Project number	2022-197C00	A15
Date	24/01/2023	
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Scale		1:100



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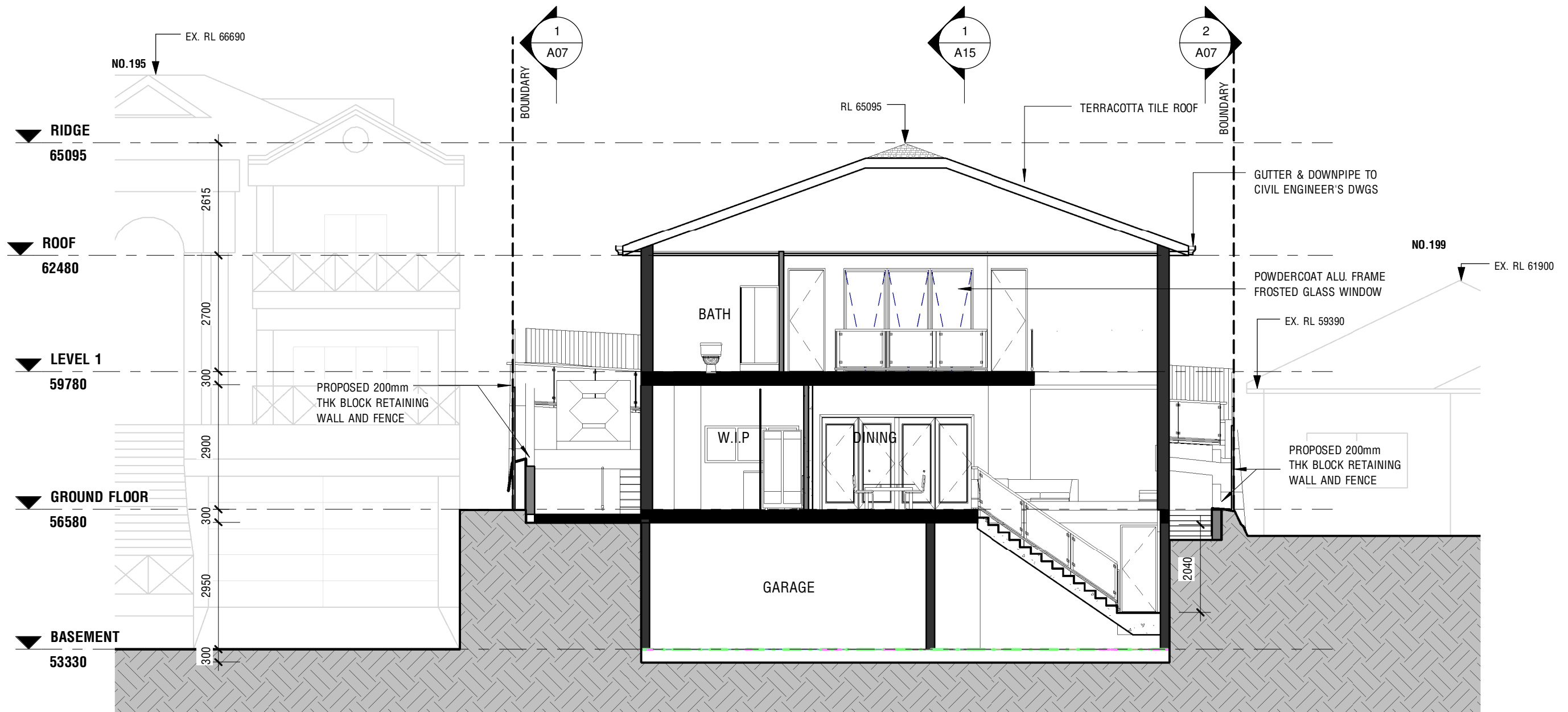
No.	Description	Date
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SECTION B

Project number	2022-197C00	A16
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	Scale
		1 : 100



1 SECTION B
1 : 100

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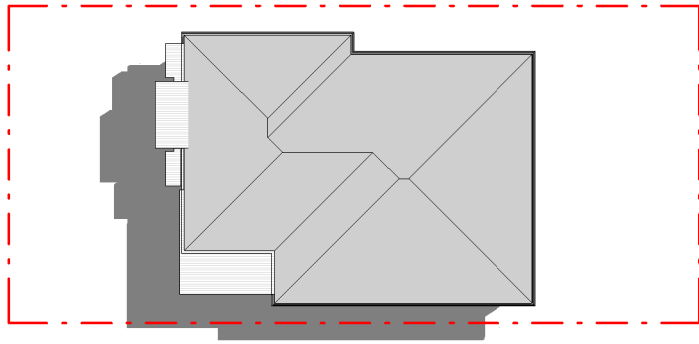
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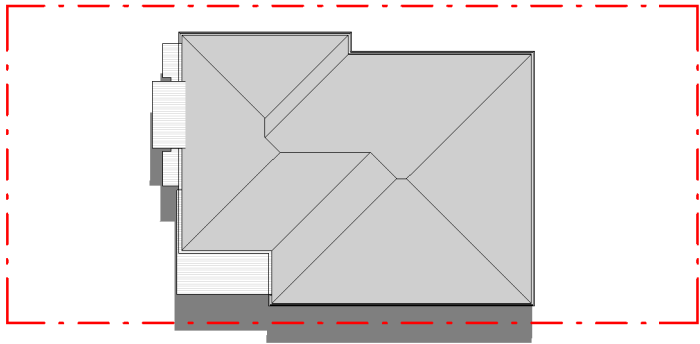
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SECTION C

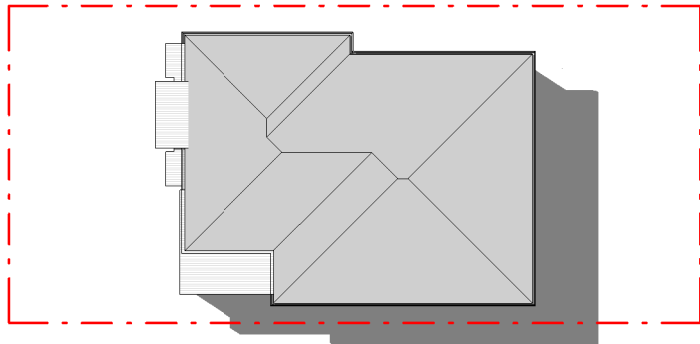
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Date	24/01/2023		
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Checked by	HL		
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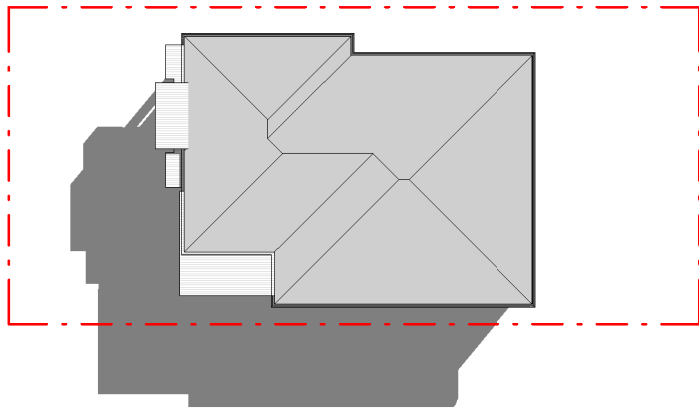
1 SHADOW DIAGRAM - 21/03 - 8AM
1 : 400



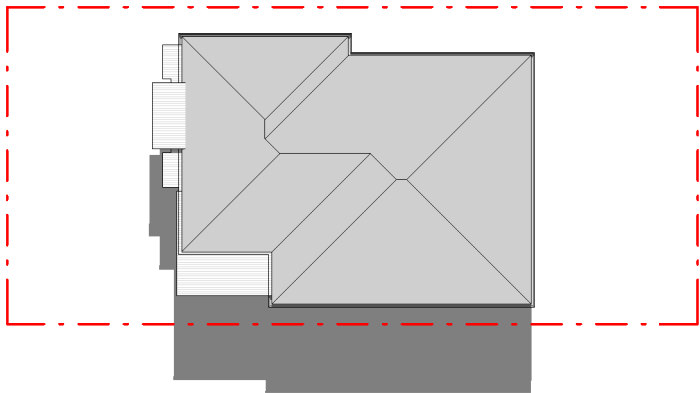
2 SHADOW DIAGRAM - 21/03 - 12PM
1 : 400



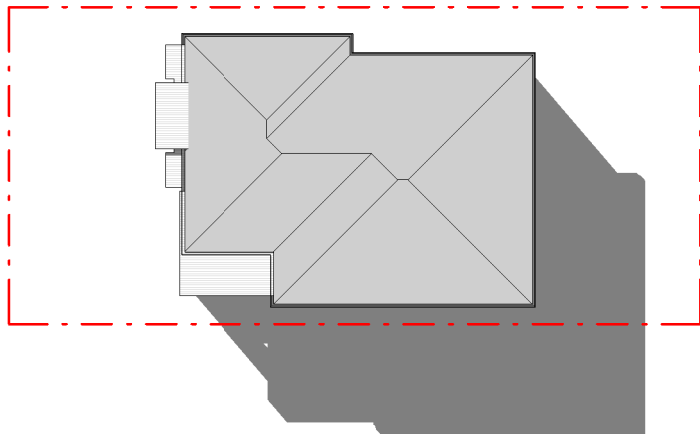
3 SHADOW DIAGRAM - 21/03 - 4PM
1 : 400



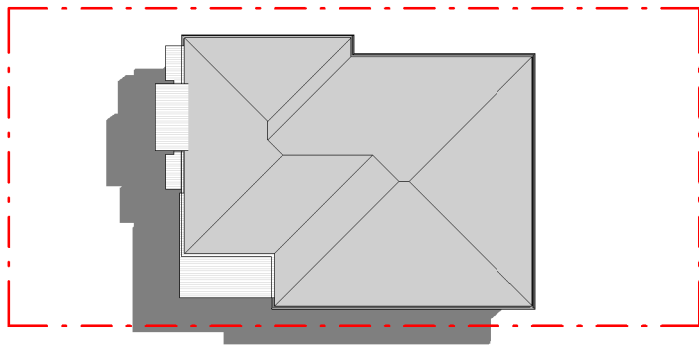
4 SHADOW DIAGRAM - 21/06 - 8AM
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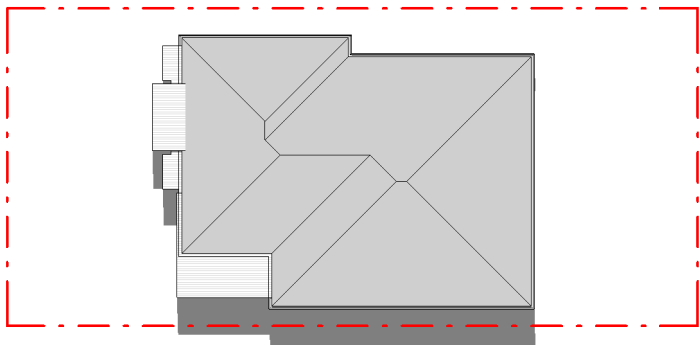
5 SHADOW DIAGRAM - 21/06 - 12PM
1 : 400



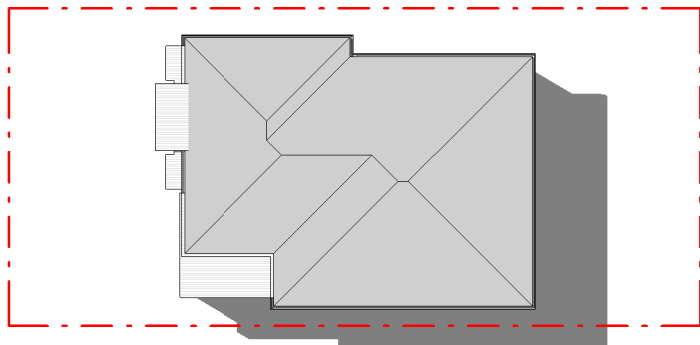
6 SHADOW DIAGRAM - 21/06 - 4PM
1 : 400



7 SHADOW DIAGRAM - 21/09 - 8AM
1 : 400



8 SHADOW DIAGRAM - 21/09 - 12PM
1 : 400



9 SHADOW DIAGRAM - 21/09 - 4PM
1 : 400

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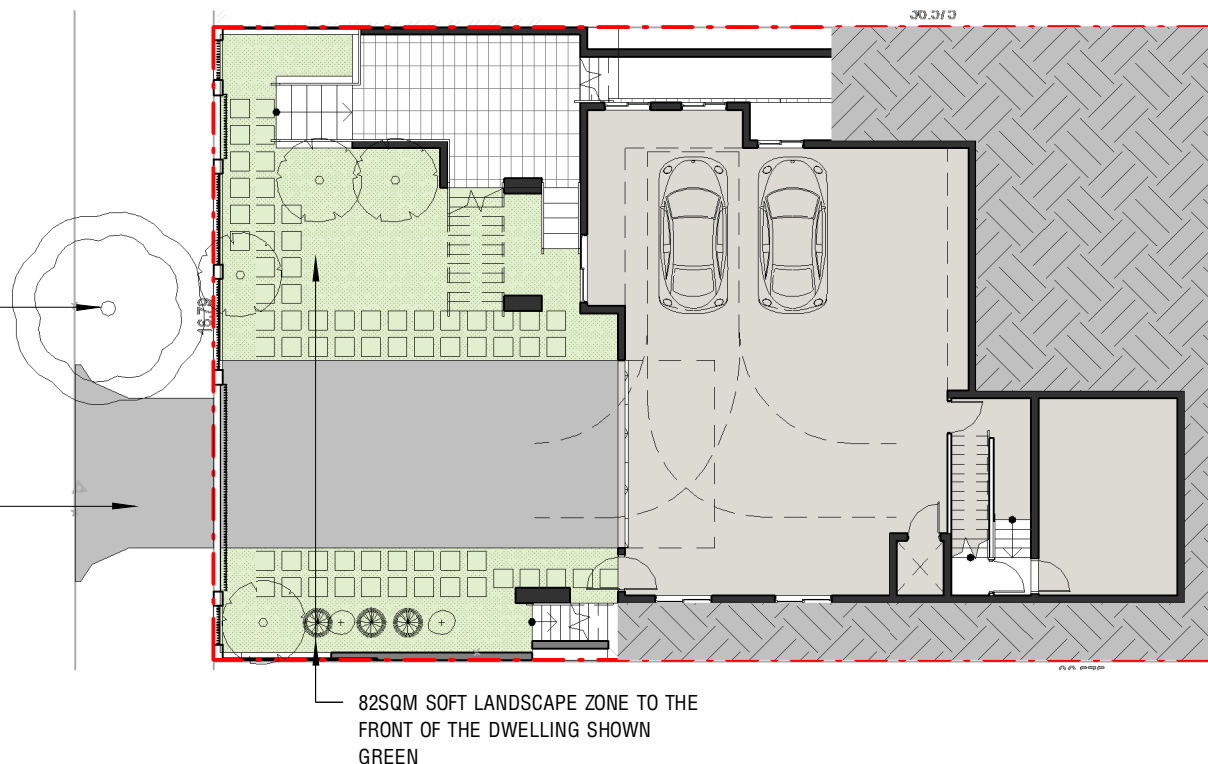
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SHADOW DIAGRAMS

Project number	2022-197C00	A18
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	Scale
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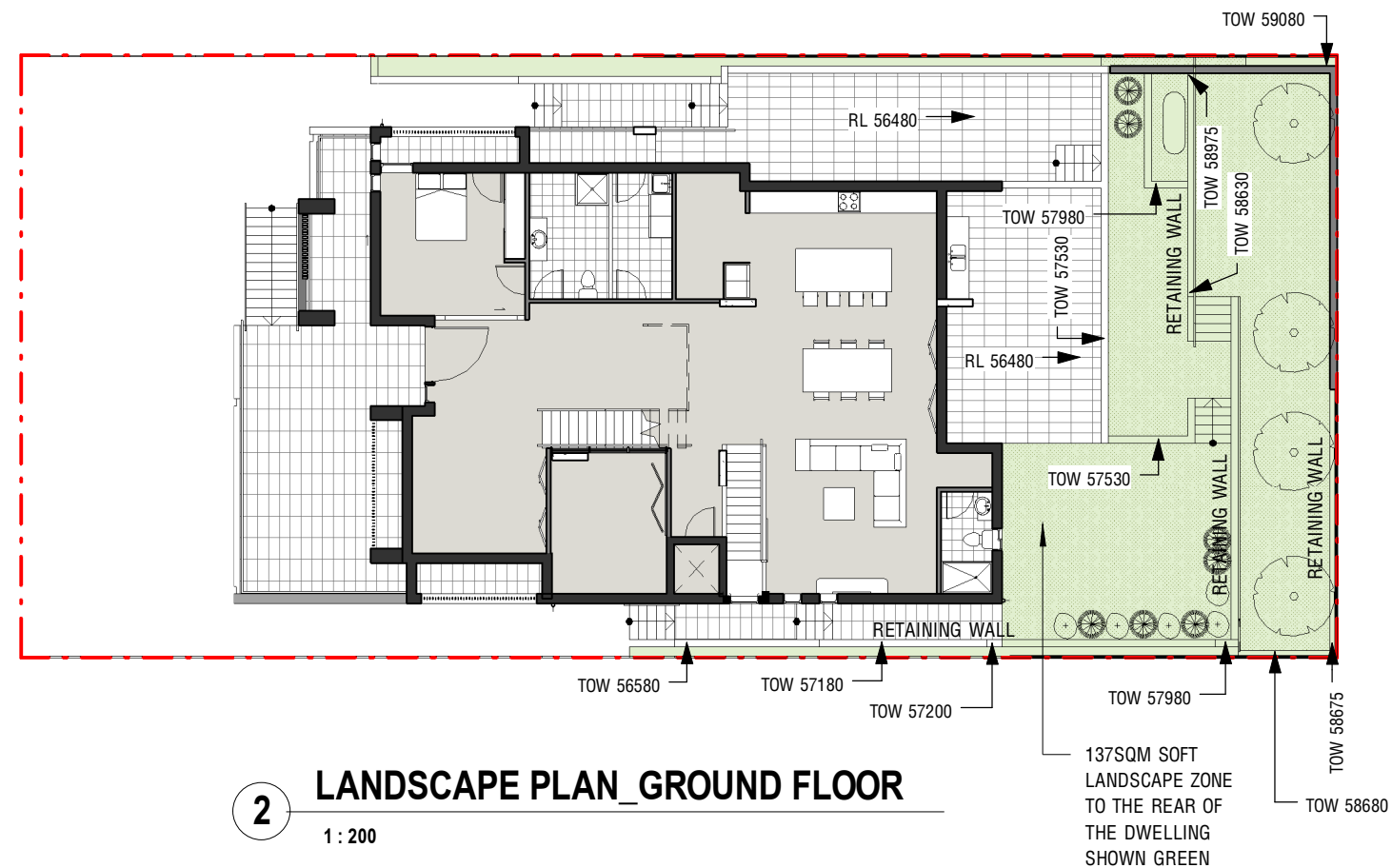
EXISTING TREE TO RETAIN

EXISTING VEHICLE CROSSING TO BE MODIFIED TO SUIT NEW PROPOSAL TO COMPLIED WITH CB CITY COUNCIL WORK PERMIT STANDARD DETAILS



1 LANDSCAPE PLAN_BASEMENT

1 : 200

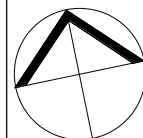


2 LANDSCAPE PLAN_GROUND FLOOR

1 : 200

KEY	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT(M)	POT SIZE	NUMBER
SHRUBS					
HD	HIBBERTIA DIFFUSA	HIBBERTIA DIFFUSA	0.5	200MM	7
GRASSES					
LH	LOMANDRA LONGIFOLIA	SPINY MAT RUSH	1	140MM	10
TREE	TRISTANIOPSIST	WATER GUM	3-10	900MM	8
LEGEND					
- - - - -		BOUNDARY			
[Pattern]		CONCRETE PAVING & DRIVEWAY (87.7m2)		[Pattern]	
		+ RL15.37		BUFFALOW LAWN OR SIMILAR (219 SQM)	
				SPOT LEVEL	

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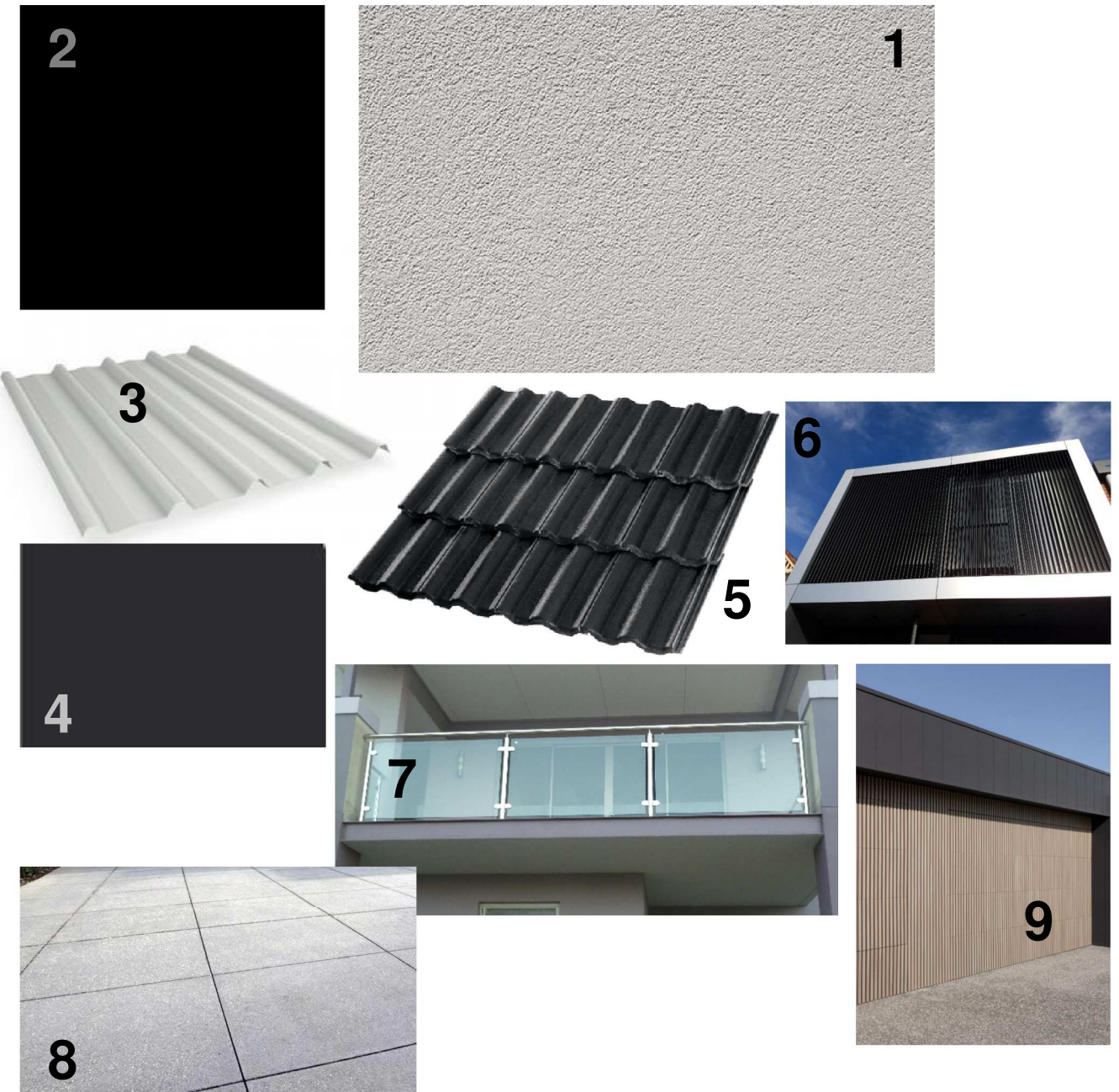
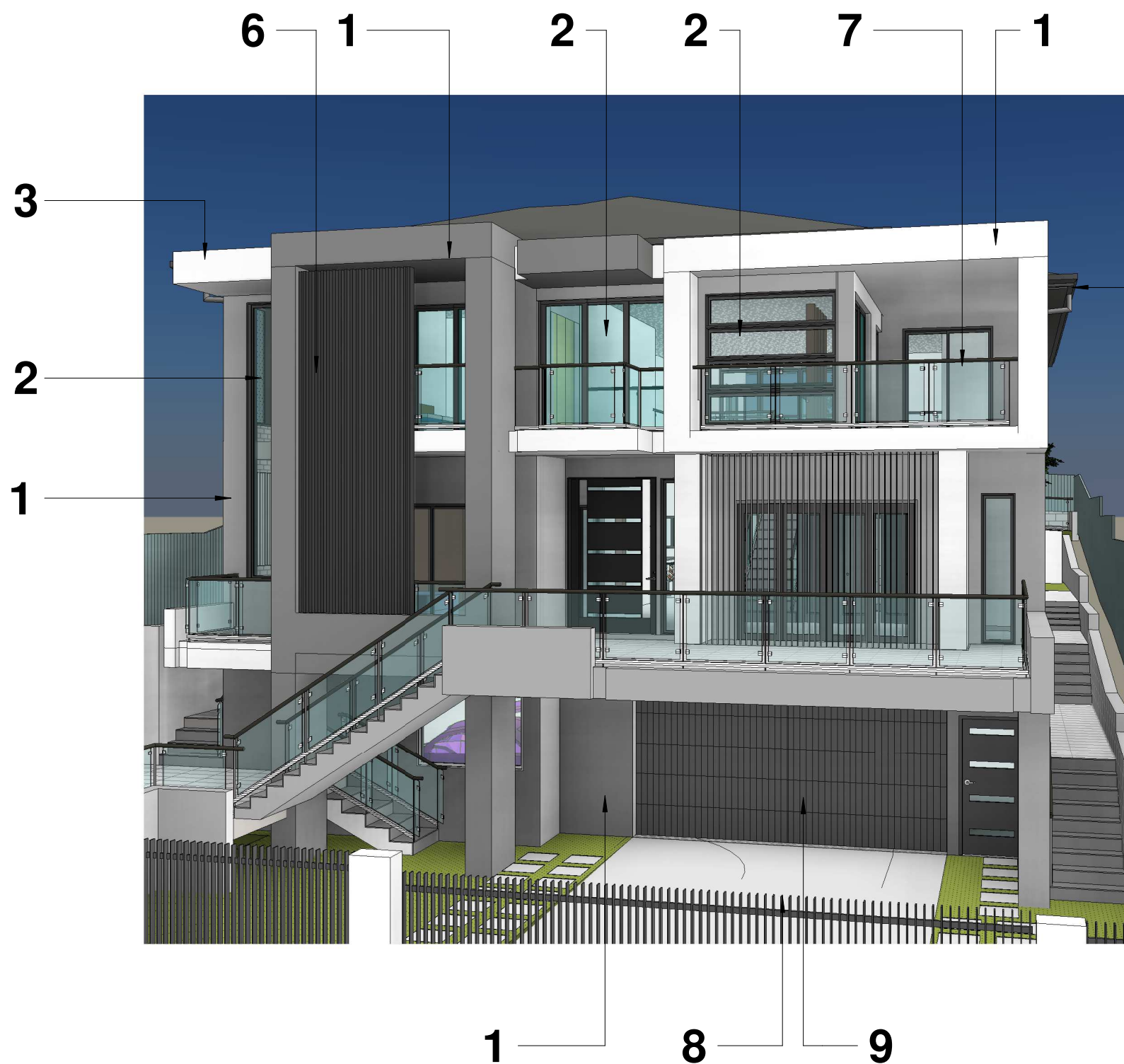
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PROPOSED RESIDENTIAL DWELLING

197 COOPER ROAD YAGOONA NSW 2199

LANDSCAPE PLAN

Project number	2022-197C00	A19
Date	24/01/2023	
Drawn by	HL	
Checked by	HL	Scale
		1 : 200



LEGEND:

1. ARCRYLIC RENDERED BRICKWALL, COLOUR TO OWNER'S SELECTION
2. BLACK POWDERCOATED ALUMINUM FRAME WITH CLEAR GLASS
3. LYSAGHT BASALT TRIMDEK COLORBOND METAL ROOF SHEETING OR SIMILAR
4. DARK GREY - COLORBOND METAL GUTTER, DPS & CAPPING
5. TERACOTTA TILE ROOF, COLOUR TO OWNER'S SELECTION
6. POWDERCOATED ALUMINIUM PRIVACY SCREEN
7. S/S & GLASS BALUSTRADE
8. SAW CUT CONCRETE PAVING DRIVEWAY
9. KNOTWOOD SECTIONAL GARAGE DOOR OR SIMILAR, COLOUR TO OWNER'S SELECTION

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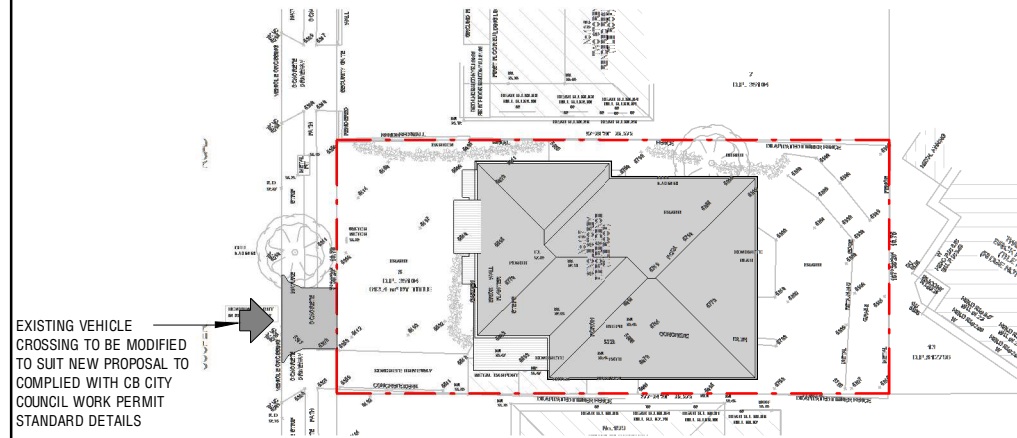
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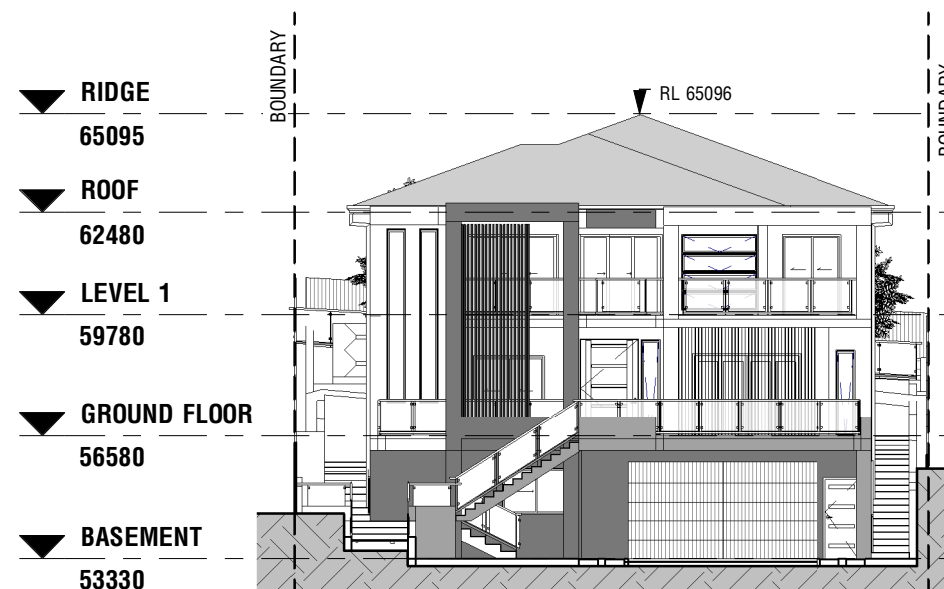
EXTERIOR FINISHES

Project number	2022-197C00	A20
Date	24/01/2023	
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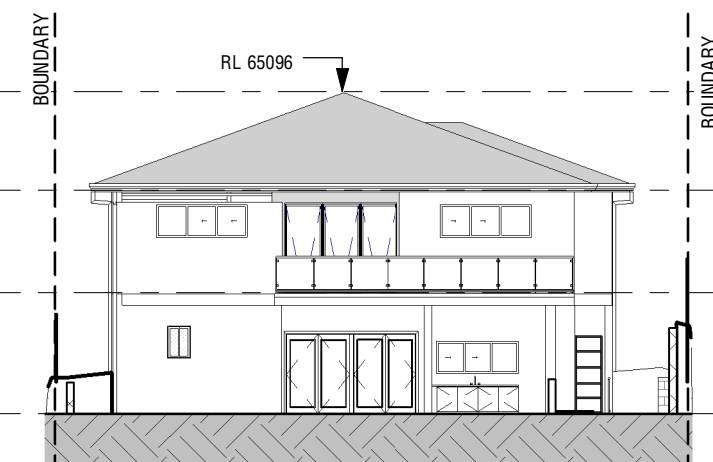


EXISTING VEHICLE CROSSING TO BE MODIFIED TO SUIT NEW PROPOSAL TO COMPLIED WITH CB CITY COUNCIL WORK PERMIT STANDARD DETAILS

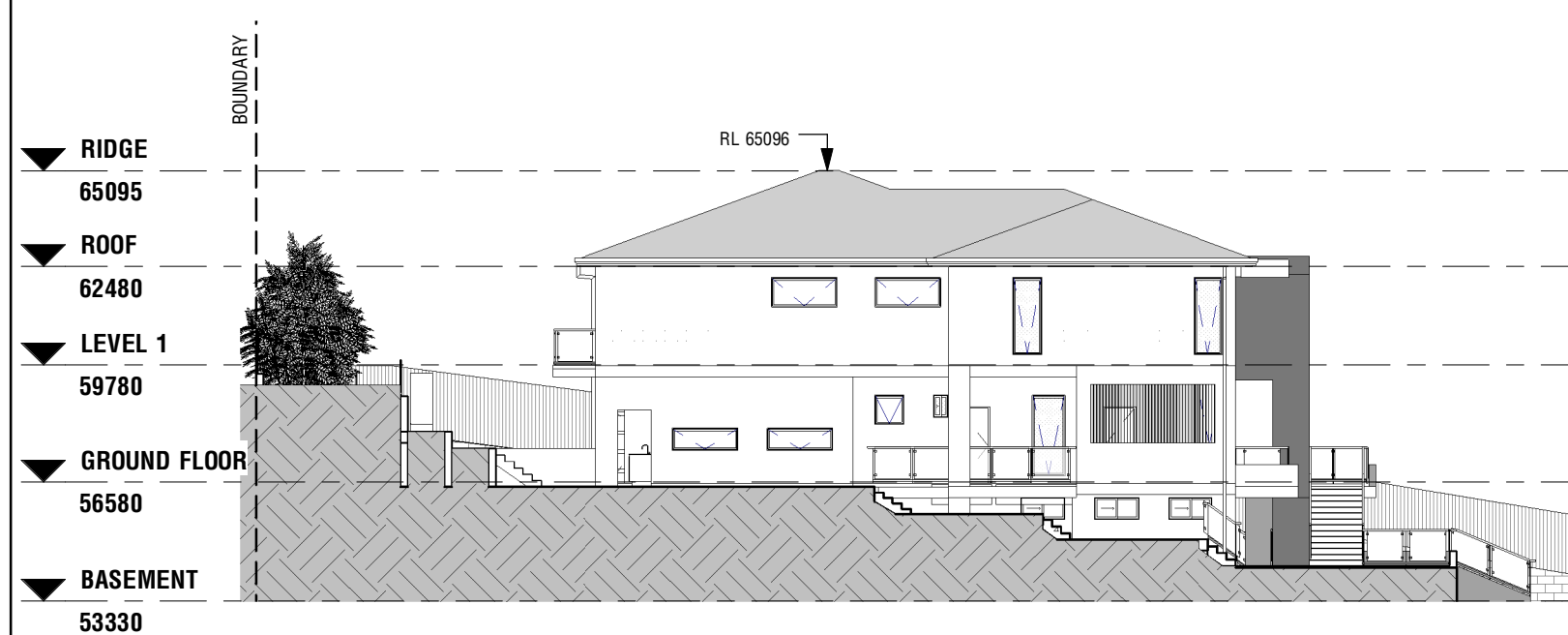
1 SITE NOTIFICATION PLAN
1 : 500



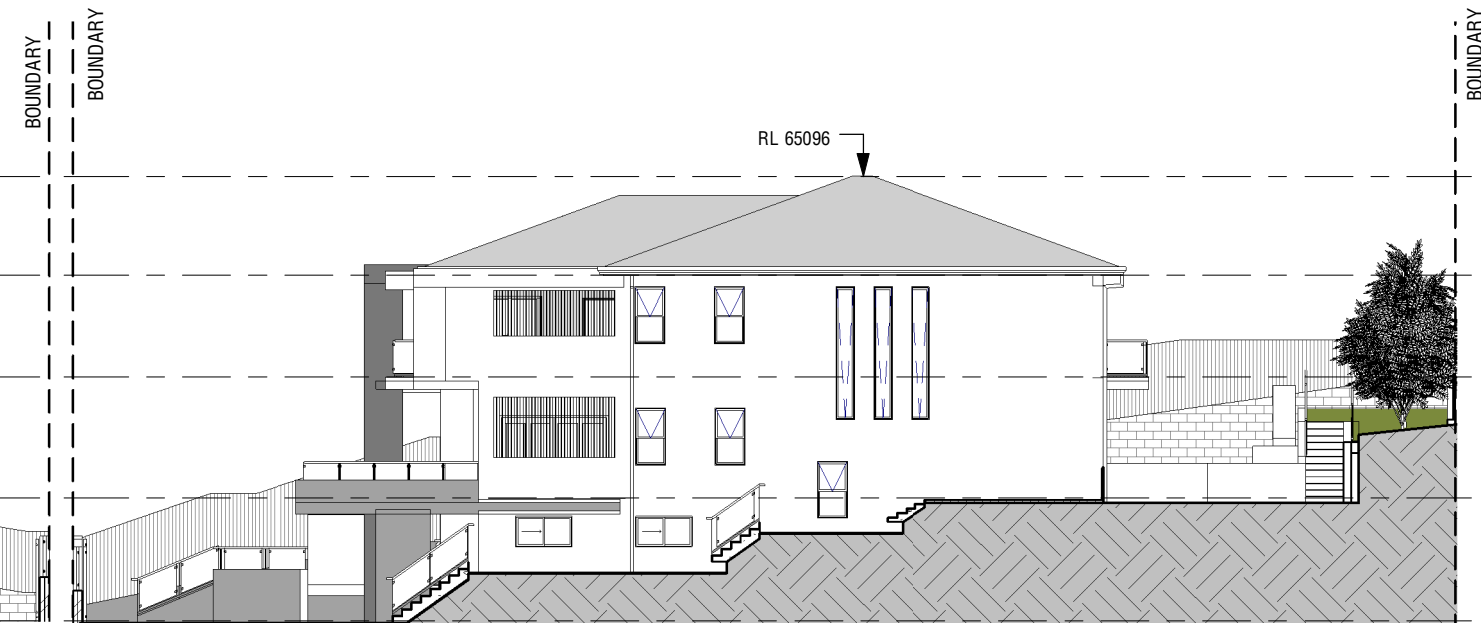
2 WEST ELEVATION
1 : 200



3 EAST ELEVATION
1 : 200



4 NORTH ELEVATION
1 : 200

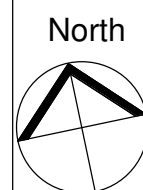


5 SOUTH ELEVATION
1 : 200

DEVELOPMENT APPLICATION



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PROPOSED RESIDENTIAL DWELLING

197 COOPER ROAD YAGOONA NSW 2199

NOTIFICATION PLAN

Project number	2022-197C00	A21	
Date	24/01/2023		
Drawn by	HL		
Checked by	HL	Scale	As indicated

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 900 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)all hot water systems in the development		✓ ✓	✓ ✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓

Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.75 (up), roof: foil/sarking	unventilated; light (solar absorptance < 0.475)


Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door: <ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clear	✓	✓	✓ ✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
WB2	600	1210	aluminium, single, clear	none	not overshadowed
WB3	600	1210	aluminium, single, clear	none	not overshadowed
WB4	600	1210	aluminium, single, clear	none	not overshadowed
W03	2200	900	aluminium, single, clear	none	not overshadowed
W04	2200	900	aluminium, single, clear	none	not overshadowed
W05	800	800	aluminium, single, clear	none	not overshadowed
W06	600	1800	aluminium, single, clear	none	not overshadowed
W06	600	1800	aluminium, single, clear	none	not overshadowed
W21	2100	800	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W22	800	800	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W23	800	1800	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W24	800	1800	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
East facing					
W09	850	2410	aluminium, single, clear	none	not overshadowed
W10	850	610	aluminium, single, clear	none	not overshadowed
W25	850	2410	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W29	850	2410	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

South facing					
WB5	800	1500	aluminium, single, clear	none	not overshadowed
WB6	800	1500	aluminium, single, clear	none	not overshadowed
W13	1500	800	aluminium, single, clear	none	not overshadowed
W14	1500	800	aluminium, single, clear	none	not overshadowed
W15	1500	800	aluminium, single, clear	none	not overshadowed
W11	3500	500	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W12	3500	500	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W26	2400	1000	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W27	2700	1000	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W28	2400	1000	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W30	1500	800	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W31	1500	800	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed



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PROPOSED RESIDENTIAL DWELLING

197 COOPER ROAD YAGOONA NSW 2199

BASIX COMMITMENTS


Project number	2022-197C00	A22
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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W36	3500	500	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
West facing					
WB1	1220	1800	aluminium, single, clear	none	not overshadowed
W01	4600	500	aluminium, single, clear	none	not overshadowed
W02	4600	500	aluminium, single, clear	none	not overshadowed
W16	2300	500	aluminium, single, clear	none	not overshadowed
W17	2576	500	aluminium, single, clear	none	not overshadowed
W32	500	2100	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W33	500	2100	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W34	500	2100	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
W35	500	2100	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off Kitchen: individual fan, not ducted; Operation control: manual switch on/off Laundry: individual fan, not ducted; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study; dedicated • the kitchen; dedicated • all bathrooms/toilets; dedicated		✔ ✔ ✔	✔ ✔ ✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• the laundry; dedicated		✔	✔
• all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	



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PROPOSED RESIDENTIAL DWELLING

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BASIX COMMITMENTS

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3D BASEMENT

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3D GROUND FLOOR

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3D FIRST FLOOR

Project number	2022-197C00
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3D OVERALL			
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3D FACADE PERSPECTIVE VIEW

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3D FACADE PERSPECTIVE VIEW

Project number	2022-197C00
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Scale

A30



No. 195

No. 197
PROPOSED DWELLING

No. 199

COOPER ROAD

DEVELOPMENT APPLICATION

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PROPOSED STREETScape ELEVATION

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